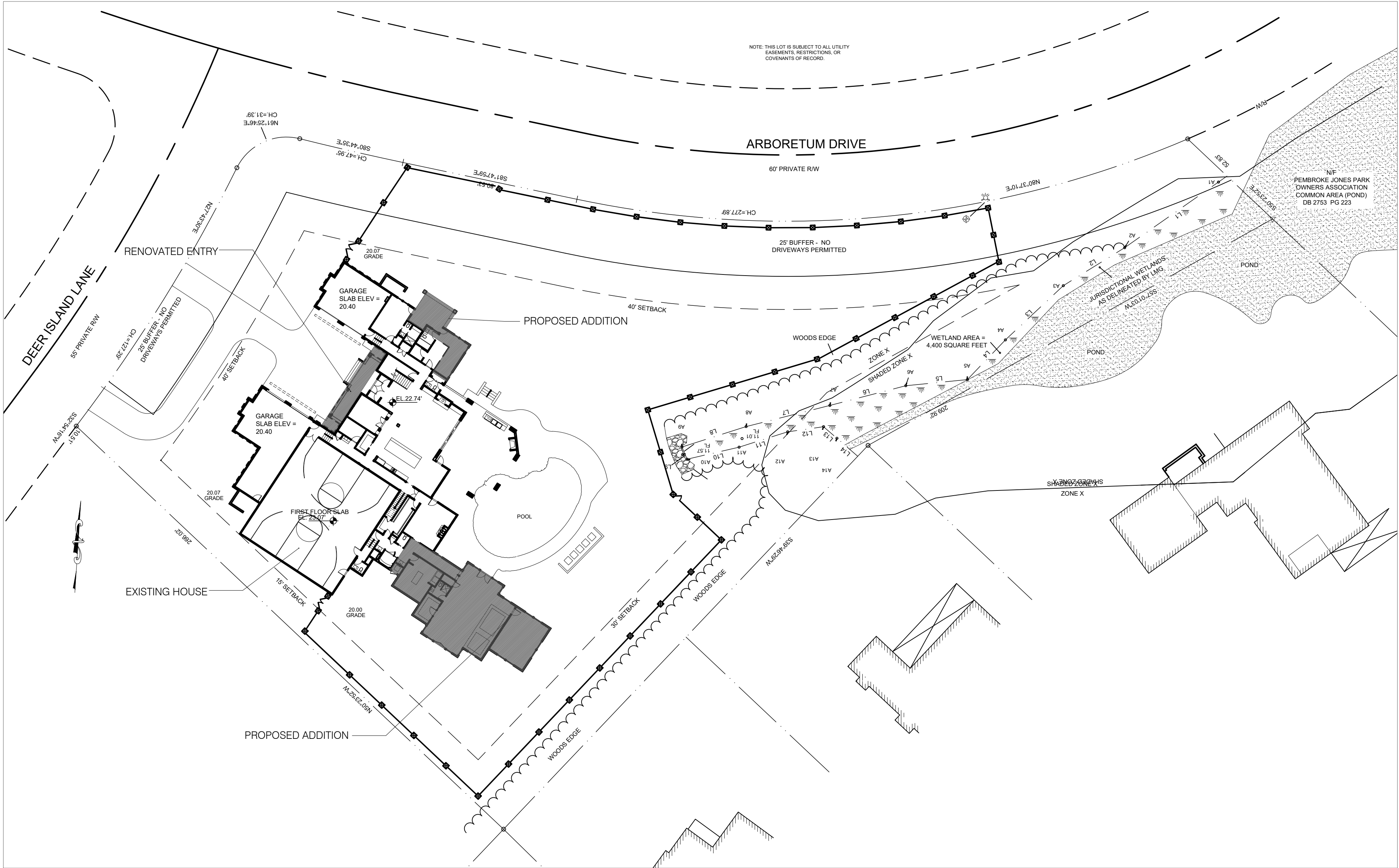


GENERAL NOTES:

1. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR DIMENSIONAL PLACEMENT OF WALL INDICATED ON DESIGN DRAWINGS. VARIATIONS FROM THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR.
2. WORK PERFORMED SHALL BE IN FULL AND COMPLETE COMPLIANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS TO ESTABLISH AND COMPLY WITH SAID APPLICABLE CODES AND REGULATIONS
3. DIMENSIONS ARE GIVEN TO FACE OF STUD
4. DISSIMILAR FLOOR FINISHES SHALL MEET WITH APPROPRIATE TRANSITION STRIPS UNLESS NOTED OTHERWISE.
5. CEILINGS SHALL RECEIVE 5/8" SAG RESISTANT GYPSUM BOARD UNLESS NOTED OTHERWISE.
6. PROVIDE GALVANIZED METAL CORNER BEADS AT EXTERNAL CORNERS OF GYPSUM BOARD WORK. J-TYPE SEMI-FINISHING TRIM NOT PERMITTED. PROVIDE L-TYPE TRIM WHERE WORK IS BUTTED TO OTHER WORK AND KERF-TYPE WHERE WORK IS KERFED TO RECEIVE KERF LEG. PROVIDE U-TYPE TRIM WHERE EDGE IS EXPOSED, REVEALED OR SEALANT FILLED INCLUDING EXPANSION JOINTS. PROVIDE TYPE NO. 93 CONTROL JOINT TRIM WHERE INDICATED OR REQUIRED.
7. PROVIDE FINISH HEADERS OVER DRYWALL OPENINGS ALIGNED WITH TOP OF DOOR FRAMES.
8. ALL GYPSUM SURFACES TO RECEIVE ONE COAT OF PRIMER AND TWO COATS OF SELECTED PAINT. COLOR TO BE SELECTED BY ARCHITECT AND OWNER, UNLESS OTHERWISE SPECIFIED.
9. WORKMANSHIP REQUIRED TO COMPLETE THE WORK SHALL BE PERFORMED BY EXPERT TRADESMEN OR CRAFTSMEN WHO ARE THOROUGHLY EXPERIENCED IN THE REQUIRED PROCESSES. THE WORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A SUBCONTRACTOR WHO IS KNOWN TO BE EXPERT IN ALL ASPECTS OF THE APPLICATION OF THE MATERIALS, EQUIPMENT, OR SYSTEM BEING FABRICATED AND INSTALLED IN EACH CASE.
10. THE CONTRACTOR SHALL EMPLOY ONLY EXPERIENCED AND COMPETENT MECHANICS CAPABLE OF PRODUCING WORK OF THE QUALITY DESIRED AND SHALL ASSUME RESPONSIBILITY FOR THE WORK INCLUDING REPAIR OF DAMAGES TO THE WORK WHICH OCCUR PRIOR TO ACCEPTANCE.
11. CLEANUP: THE CONTRACTOR SHALL AT ALL TIMES KEEP ACCESS TO ENTRANCES AND THE WORK FREE FROM ACCUMULATION OF WASTE MATERIALS, RUBBISH AND DIRT CAUSED BY HIS OPERATION. AT THE COMPLETION OF HIS WORK, HE SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL OF HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, VACUUM CARPETS AND CLEAN WINDOWS.
12. ELECTRICAL SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR. ELECTRICAL WORK SHALL CONSIST OF INSTALLATION OF A COMPLETE SYSTEM OF ELECTRICAL RACEWAYS, WIRING FIXTURES AND DEVICES INCLUDING BUT NOT LIMITED TO WORK SHOWN ON THIS PLAN. ELECTRICAL CONTRACTOR TO SUBMIT AND PAY FOR ALL PERMIT FEES, INSPECTIONS AND MAKE DEPOSITS REQUIRED.
13. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH N.E.C. AND ALL FEDERAL, STATE AND LOCAL CODES OR ORDINANCE HAVING JURISDICTION OVER SAME. THE WORK INCLUDED SHALL CONSIST OF THE DESIGN, FURNISHING AND INSTALLATION, TESTING AND GUARANTEES.
14. WALL SWITCHES TO BE MOUNTED 48" ABOVE FLOOR FINISH TO BOTTOM OF BOX, UNLESS OTHERWISE NOTED.
15. ELECTRICAL AND TELEPHONE OUTLETS ARE TO BE MOUNTED 16" ABOVE FINISHED FLOOR TO BOTTOM OF BOX OR UNLESS OTHERWISE NOTED. ALL DECORATIVE LIGHTING SHALL BE FIELD LOCATED BY THE ARCHITECT AND/OR OWNER.
16. ALL HVAC WORK SHALL BE RELOCATED IN A NEAT AND WORKMANLIKE MANNER AND SHALL MEET ALL THE REQUIREMENTS OF FEDERAL, STATE AND LOCAL CODES, INCLUDING THE BOARD OF HEALTH AND DEPARTMENT OF INDUSTRIAL RELATIONS. THE WORK INCLUDED SHALL CONSIST OF THE DESIGN, FURNISHING AND INSTALLATION, TESTING AND GUARANTEES.

ABBREVIATIONS

A.C.T.	ACOUSTICAL CEILING TILE
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ALT.	ALTERATIVE
ANOD.	ANODIZED
BD.	BOARD
BLDG.	BUILDING
BM.	BEAM
BOT.	BOTTOM
BRG. HT.	BEARING HEIGHT
CL.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.J.	CONTROL JOINT
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL.	DOUBLE
DET.	DETAIL
DR.	DOOR
D.S.	DOWNSPOUT
DWG.	DRAWING
E.J.	EXPANSION JOINT
ELEV.	ELEVATION
ELC.	ELECTRICAL
EQ.	EQUAL
E.W.C.	ELECTRIC WATER COOLER
EXP.	EXPANSION
EXT.	EXTERIOR
F.F.	FINISH FLOOR
FIN.	FINISH
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.B.	FACE OF GRADE BEAM
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.R.P.	FIBERGLASS REINFORCED PANEL
GA.	GAUGE
GL.	GLASS
GYP. BD.	GYPSUM BOARD
H.B.	HOSE BIB
H.C.	HOLLOW CORE
HDWR.	HARDWARE
HT.	HEIGHT
HVAC	HEATING/VENTILATING/AIR CONDITIONING
INSUL.	INSULATION
JOIST BRG.	JOIST BEARING
LAV.	LAVATORY
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
ON CTR.	ON CENTER
O.H.	OPPOSITE HAND
PLYWD.	PLYWOOD
PT (D)	PAINT (D)
REF.	REFER, REFERENCE
REINF.	REINFORCING
ROOM.	ROOM
ROT.	ROTATED
S.C.	SOLID CORE
SCHED.	SCHEDULE (ED)
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION (S)
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURE (AL)
TEMP.	TEMPERED
T.O.M.	TOP OF MASONRY
T.O.P.	TOP OF PARAPET
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
T.S.	TUBULAR STEEL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VERT.	VERTICAL
W.C.	WATER CLOSET
WD.	WOOD
WH.	WATER HEATER
W/	WITH



NORTH
SITE PLAN
SCALE 1/32" = 1'-0"



LIST OF SHEETS

ARCHITECTURAL

A000	COVER SHEET + PROJECT DATA + SITE PLAN
A001	RENDERINGS
D101	DEMOLITION PLAN - GROUND FLOOR
D102	DEMOLITION PLAN - SECOND FLOOR
A100	GROUND FLOOR PLAN
A100.5	FLOORING PLAN - GROUND FLOOR
A101	SECOND FLOOR PLAN
A102	ENLARGED PLANS GUEST SUITE & ENTRY + DOOR/WINDOW SCHEDULES
A103	ENLARGED PLAN MASTER SUITE & SPA + DOOR/WINDOW SCHEDULES
A104	FOUNDATION PLANS
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS
A203	ELEVATIONS
A301	SECTIONS
A401	WALL SECTIONS

PROJECT TEAM

CONTRACTOR
PBC DESIGN BUILD - contact: SAM TUTINO
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WILMINGTON, NORTH CAROLINA 28403
(910) 763-8760
tutino@pbcdesignbuild.com

PROJECT ARCHITECT
ROMERO ARCHITECTURE - contact: ROB ROMERO
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WILMINGTON, NORTH CAROLINA 28401
910.228.3137
rob@romeroarchitecture.com

STRUCTURAL ENGINEER
HOLMES ENGINEERING

PROJECT DATA

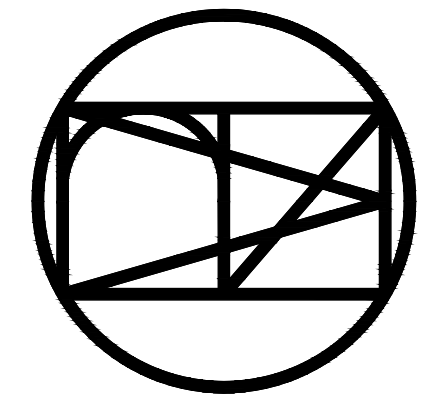
PROJECT DESCRIPTION:
RENOVATION OF SINGLE-FAMILY RESIDENCE
LOCATION:
2001 DEER ISLAND LANEWILMINGTON, NC 28405

CODE ENFORCEMENT	JURISDICTION: NEW HANOVER COUNTY BUILDING DEPARTMENT
ZONING	R-3
MAXIMUM LOT COVERAGE	50%
IMPERVIOUS AREA	N/A
SETBACKS	
FRONT	40'-0"
REAR	30'-0"
SIDES	15'-0"
MAX BUILDING HEIGHT	35'-0"
THIS DESIGN	31'-0"
FIRE DISTRICT	N/A
WIND ZONE	N/A
ENERGY ZONE	2018 NCECC
SEISMIC ZONE	N/A
FLOOD ZONE	N/A
BASE FLOOD ELEVATION	N/A
FREEBOARD	N/A
WATER	
PUBLIC SYSTEM - CFPUA	
SEWER	
PUBLIC SYSTEM - CFPUA	
ON-SITE WATER RETENTION	N/A
FLOOR AREA REQUIREMENT	N/A
CAMA PERMIT	N/A

ARCHITECT



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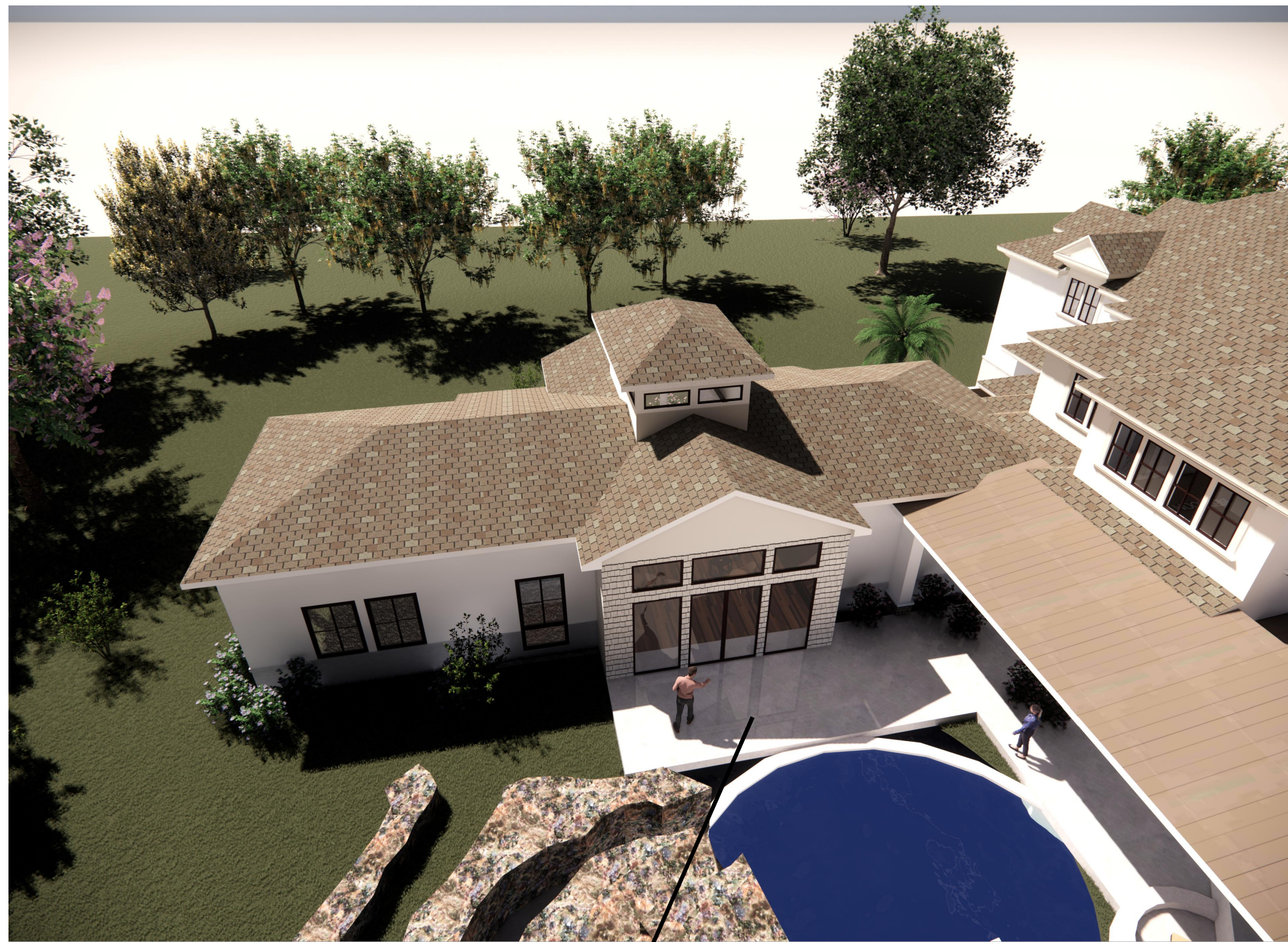
BAKER RESIDENCE

2001 DEER ISLAND LANE
WILMINGTON, NORTH CAROLINA 28405

COVER SHEET

A000

01.12.2026	ISSUED FOR REVIEW	05.21.2026	COUNTY & LANDFALL ARC REVIEW
01.30.2026	REVISED DESIGN	06.05.2026	REVISED FOR GC
02.06.2026	REVISED DESIGN	06.12.2026	REVISED FOR GC
02.16.2026	REVISED DESIGN	06.16.2026	REVISED FOR GC
02.18.2026	REVISED DESIGN		
02.23.2026	REVISED DESIGN		
04.27.2026	REVISED DESIGN		
05.13.2026	COUNTY & LANDFALL ARC REVIEW		



ADDITION



ADDITION



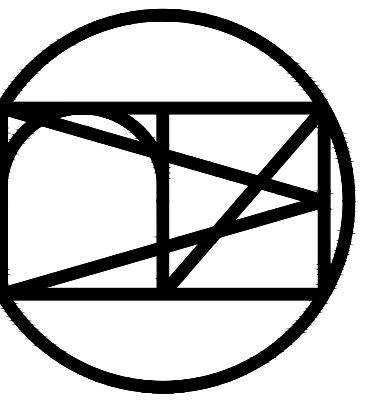
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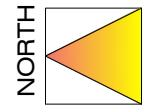
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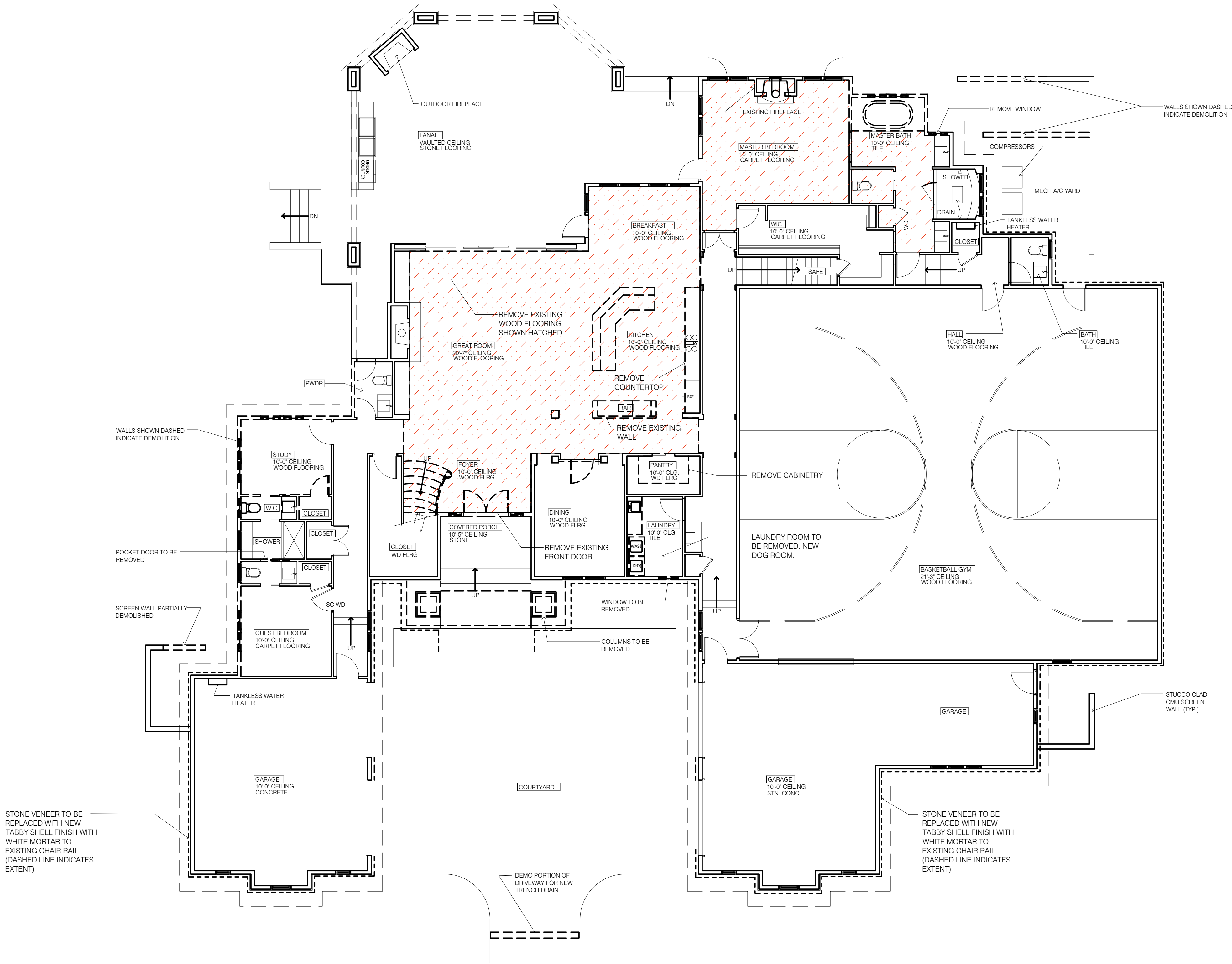
- RENOVATED ENTRY PORCH



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DEMOLITION GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"

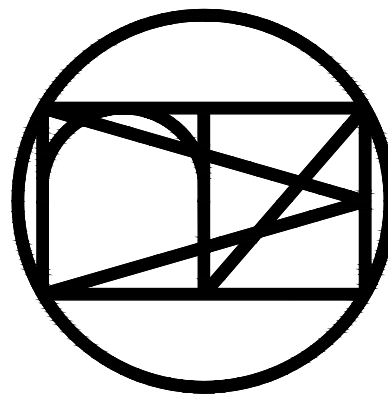


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DI01 DEMOLITION PLAN - GROUND FLOOR

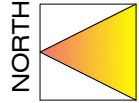
BAKER RESIDENCE

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01.12.2026	ISSUED FOR REVIEW	COUNTY & LANDFALL ARC REVIEW
01.22.2026	REVISED DESIGN	REVISED FOR GC
01.30.2026	REVISED DESIGN	REVISED FOR GC
02.06.2026	REVISED DESIGN	REVISED FOR GC
02.12.2026	REVISED DESIGN	REVISED FOR GC
02.16.2026	REVISED DESIGN	REVISED FOR GC
02.18.2026	REVISED DESIGN	REVISED FOR GC
02.23.2026	REVISED DESIGN	REVISED FOR GC
02.27.2026	REVISED DESIGN	REVISED FOR GC
03.28.2026	REVISED DESIGN	REVISED FOR GC
03.13.2026	REVISED DESIGN	REVISED FOR GC

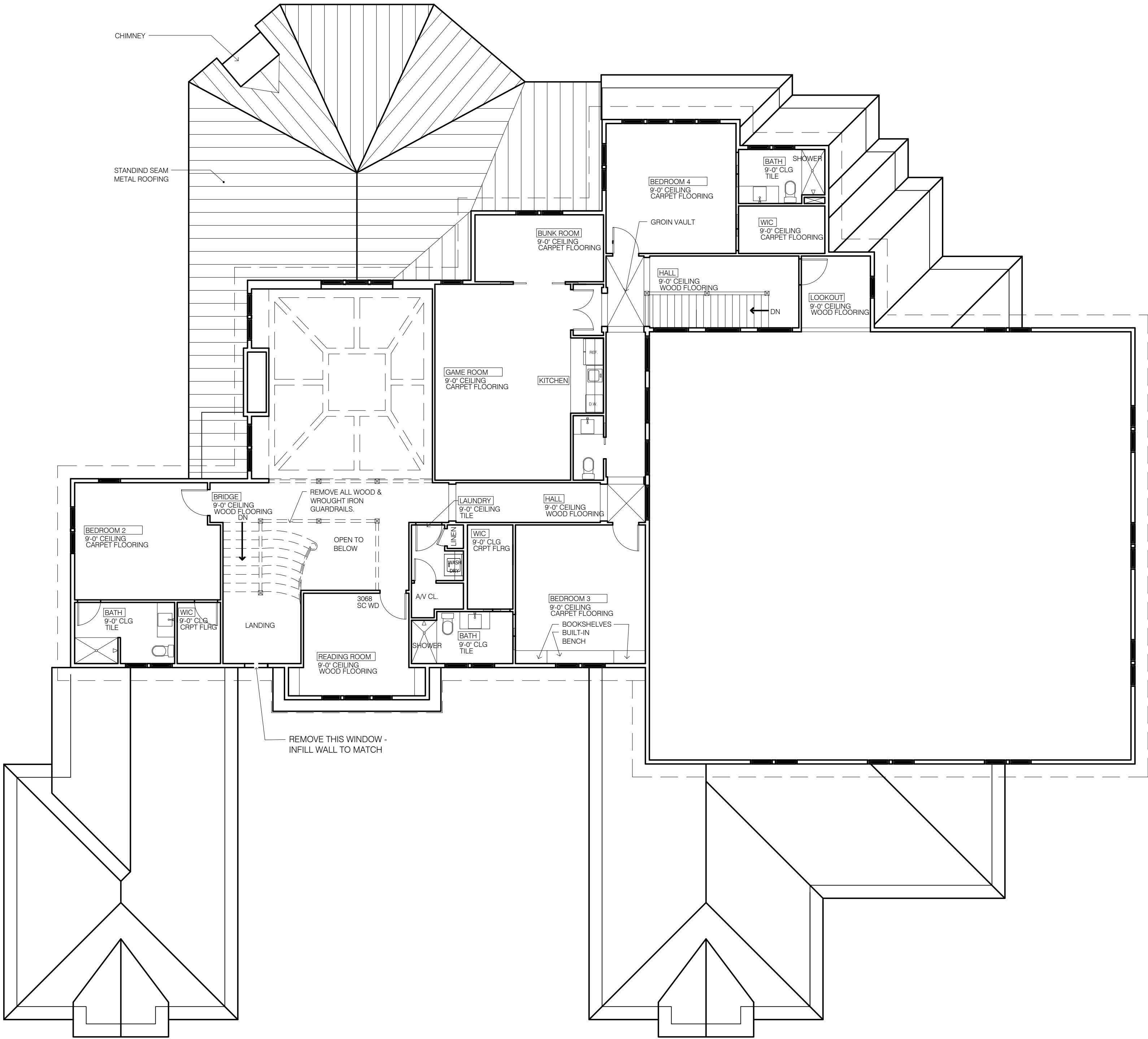
05.21.2026	COUNTY & LANDFALL ARC REVIEW
06.05.2026	REVISED FOR GC
06.12.2026	REVISED FOR GC
06.16.2026	REVISED FOR GC

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DEMOLITION SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



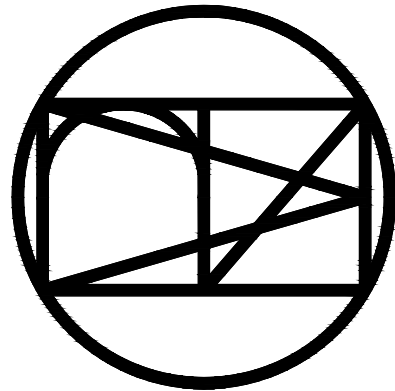
ARCHITECT



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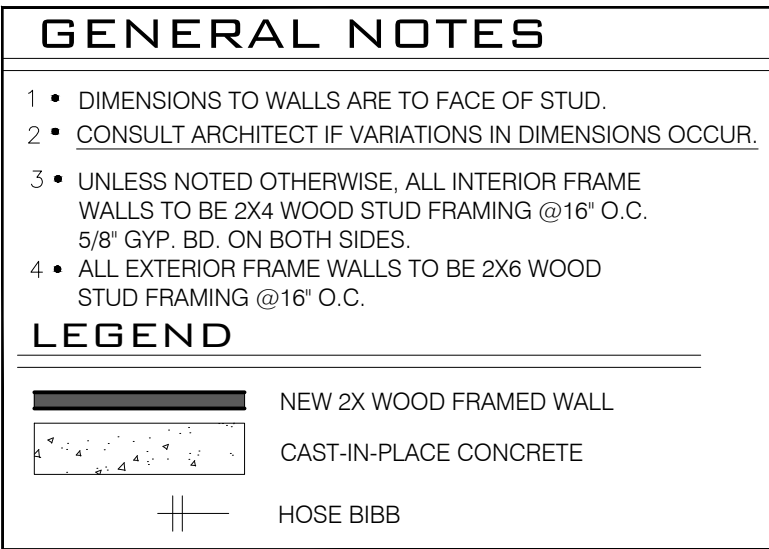
D102 DEMOLITION PLAN - SECOND FLOOR

BAKER RESIDENCE

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WILMINGTON, NORTH CAROLINA 28405

01.12.2026	ISSUED FOR REVIEW	05.21.2026	COUNTY & LANDFALL ARC REVIEW
01.22.2026	REVISED DESIGN	06.05.2026	REVISED FOR GC
01.30.2026	REVISED DESIGN	06.05.2026	REVISED FOR GC
02.06.2026	REVISED DESIGN	06.12.2026	REVISED FOR GC
02.12.2026	REVISED DESIGN	06.16.2026	REVISED FOR GC
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02.18.2026	REVISED DESIGN		
02.23.2026	REVISED DESIGN		
02.23.2026	REVISED DESIGN		
04.27.2026	REVISED DESIGN		
04.28.2026	REVISED DESIGN		
05.16.2026	COUNTY & LANDFALL ARC REVIEW		

GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



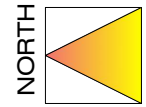
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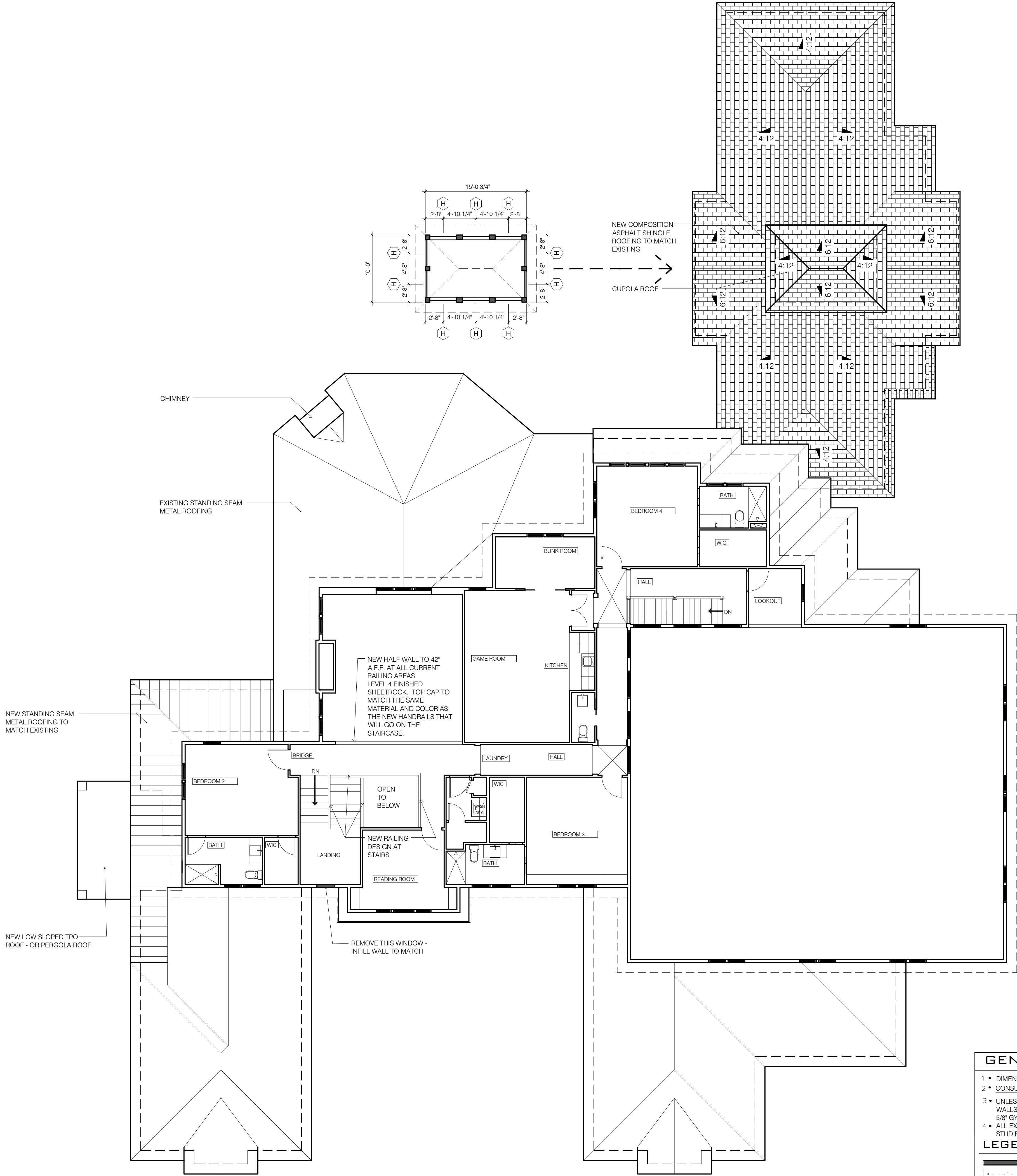
COUNTY & LANDFALL ARC REVIEW
REVISED FOR GC
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01.12.2026	ISSUED FOR REVIEW
01.12.2026	REVISED DESIGN
01.30.2026	REVISED DESIGN
02.06.2026	REVISED DESIGN
02.13.2026	REVISED DESIGN
02.16.2026	REVISED DESIGN
02.18.2026	REVISED DESIGN
03.19.2026	REVISED DESIGN
04.23.2026	REVISED DESIGN
04.27.2026	REVISED DESIGN
04.28.2026	REVISED DESIGN

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SECOND FLOOR PLAN-ROOF PLAN OF ADDITION
SCALE 1/8" = 1'-0"



GENERAL NOTES

1 • DIMENSIONS TO WALLS ARE TO FACE OF STUD.

2 • CONSULT ARCHITECT IF VARIATIONS IN DIMENSIONS OCCUR.

3 • UNLESS NOTED OTHERWISE, ALL INTERIOR FRAME WALLS TO BE 2X4 WOOD STUD FRAMING @16" O.C. 5/8" GYP. BD. ON BOTH SIDES.

4 • ALL EXTERIOR FRAME WALLS TO BE 2X6 WOOD STUD FRAMING @16" O.C.

LEGEND

NEW 2X WOOD FRAMED WALL

CAST-IN-PLACE CONCRETE

HOSE BIBB

A101

SECOND FLOOR - ROOF PLAN OF ADDITION

BAKER RESIDENCE

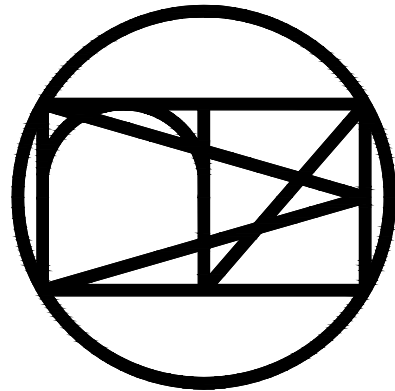
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01.30.2026	REVISED DESIGN	REVISED FOR GC
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02.12.2026	REVISED DESIGN	REVISED FOR GC
02.16.2026	REVISED DESIGN	REVISED FOR GC
02.18.2026	REVISED DESIGN	REVISED FOR GC
02.23.2026	REVISED DESIGN	REVISED FOR GC
04.27.2026	REVISED DESIGN	REVISED FOR GC
05.13.2026	REVISED DESIGN	REVISED FOR GC

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GENERAL NOTES

1 • DIMENSIONS TO WALLS ARE TO FACE OF STUD.

2 • CONSULT ARCHITECT IF VARIATIONS IN DIMENSIONS OCCUR.

3 • UNLESS NOTED OTHERWISE, ALL INTERIOR FRAME WALLS TO BE 2X4 WOOD STUD FRAMING @16" O.C.
5/8" GYP. BD. ON BOTH SIDES.

4 • ALL EXTERIOR FRAME WALLS TO BE 2X6 WOOD STUD FRAMING @16" O.C.

LEGEND

NEW 2X WOOD FRAMED WALL

CAST-IN-PLACE CONCRETE

HOSE BIBB

WINDOW SCHEDULE

DOOR SCHEDULE

NUMBER	LOCATION	DOOR SIZE	REMARKS	FINISH	WALL TYPE	NOTES
100	AMANDA'S CLOSET	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	SC WOOD
101	LINEN	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	HC WOOD
102	POWDER	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	SC WOOD
103	SALINA	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	FULL LIGHT
104	FLORIDA ROOM	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2X6 WOOD STUD	FULL LIGHT
105	OFFICE	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	SC WOOD
106	GUEST BEDROOM 1 CLOSET	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	HC WOOD
107	GUEST BEDROOM 1 BATH	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	HC WOOD
108	GUEST SUITE PATIO	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X6 WOOD STUD	FULL LIGHT
109	GUEST SUITE PATIO	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X6 WOOD STUD	FULL LIGHT
110	MECH./ELEC. CLOSET	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	SC WOOD
111	FRONT DOORS	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	FULL LIGHT
112	ENTRY VESTIBULE DOORS	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2X6 WOOD STUD	SC WOOD (PRIVACY)
113	DINING ROOM	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	FULL LIGHT (ARCHED)
114	POOL BATH	2'-8" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	HC WOOD
115	SAFE ROOM	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	SC WOOD
116	BARREL VAULT	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2X4 WOOD STUD	FULL LIGHT

1 ENLARGED GUEST BEDROOM + FRONT PORCH RENOVATION
SCALE 1/4" = 1'-0"

ARCHITECT

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BAKER RESIDENCE

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WILMINGTON, NORTH CAROLINA 28405

A102 ENLARGED PLANS

01.12.2026	ISSUED FOR REVIEW	05.21.2026	COUNTY & LANDFALL ARC REVIEW
01.30.2026	REVISED DESIGN	06.05.2026	REVISED FOR GC
02.06.2026	REVISED DESIGN	06.12.2026	REVISED FOR GC
02.16.2026	REVISED DESIGN	06.16.2026	REVISED FOR GC
02.18.2026	REVISED DESIGN		
02.23.2026	REVISED DESIGN		
04.27.2026	REVISED DESIGN		
04.28.2026	REVISED DESIGN		
05.13.2026	COUNTY & LANDFALL ARC REVIEW		

Technical drawings of the CUPOLA showing front, side, and section views with dimensions:

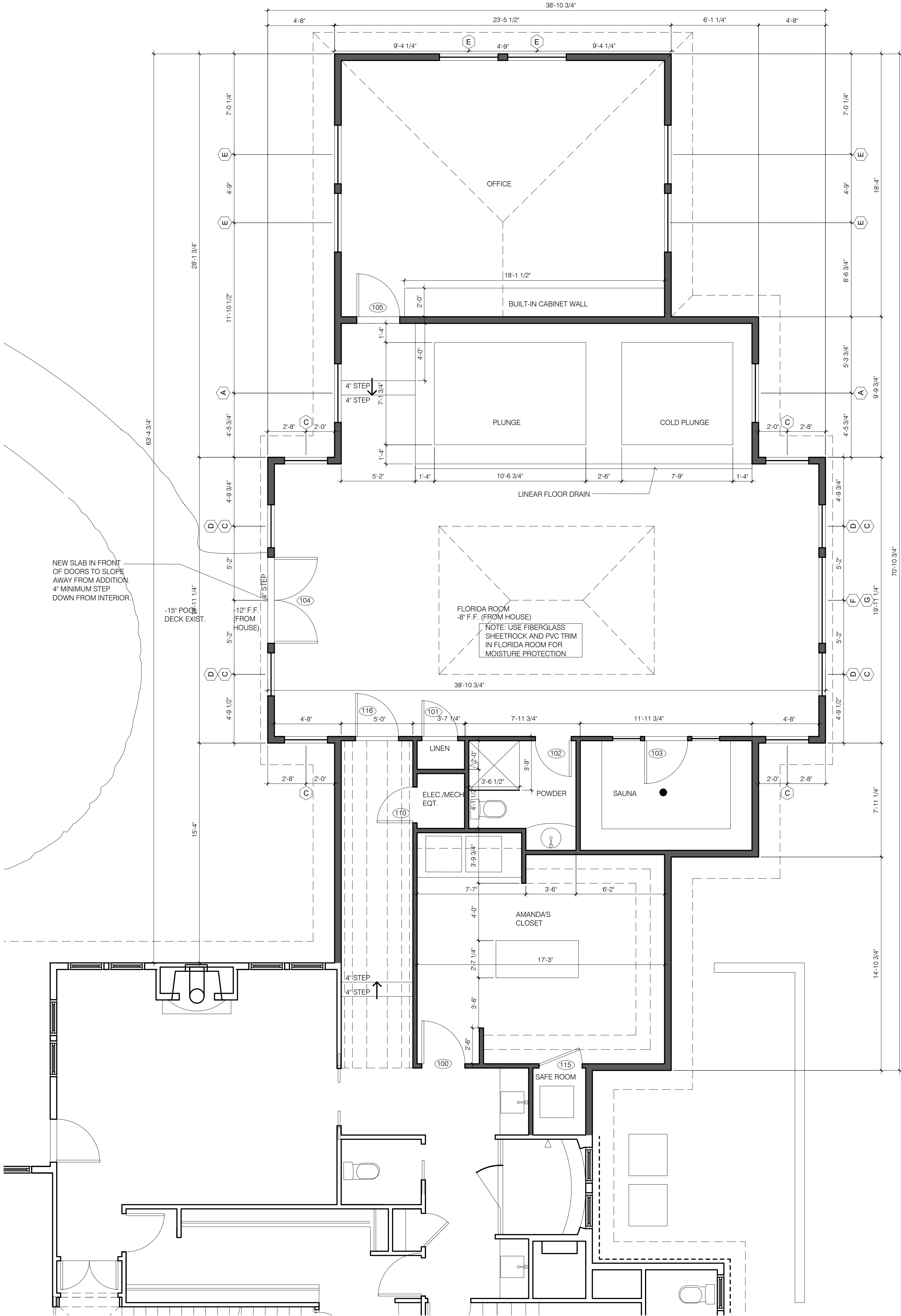
- View A (Front):** Overall height 5'-6", base height 2'-6", top width 2'-8".
- View B (Side):** Overall height 4'-6", base height 3'-6", top width 2'-6".
- View C (Front):** Overall height 7'-6 1/2", base height 2'-1 1/2", top width 3'-0".
- View D (Side):** Overall height 5'-5", base height 2'-1 1/2", top width 4'-1".
- View E (Front):** Overall height 7'-6 1/2", base height 2'-1 1/2", top width 6'-0".
- View F (Side):** Overall height 5'-5", base height 2'-1 1/2", top width 4'-0".
- View G (Section):** Overall height 7'-6 1/2", base height 2'-1 1/2", top width 6'-0".

DOOR SCHEDULE

NUMBER	LOCATION	DOOR SIZE	REMARKS	FINISH	WALL TYPE	NOTES
100	AMANDA'S CLOSET	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	SC WOOD
101	LINEN	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	HC WOOD
102	POWDER	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	SC WOOD
103	SANITARY	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	FULL LIGHT
104	FLORIDA ROOM	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2'X6 WOOD STUD	FULL LIGHT
105	OFFICE	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	SC WOOD
106	GUEST BEDROOM 1 CLOSET	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	HC WOOD
107	GUEST BEDROOM 1 BATH	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	HC WOOD
108	CLUB PATIO	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X6 WOOD STUD	FULL LIGHT
109	GUEST SLEEP PATIO	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X6 WOOD STUD	FULL LIGHT
110	MECH./ELEC. CLOSET	2'-6" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	SC WOOD
111	FRONT DOORS	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	FULL LIGHT
112	ENTRY VESTIBULE DOORS	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2'X6 WOOD STUD	SC WOOD (PRIVACY)
113	DINING ROOM	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	FULL LIGHT (ARCHED)
114	POOL BATH	3'-0" X 8'-0" (2)	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	HC WOOD
115	SAFE ROOM	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	SC WOOD
116	BARREL VAULT	3'-0" X 8'-0"	STANDARD HINGED	MATCH HOUSE	2'X4 WOOD STUD	FULL LIGHT

- 1 • DIMENSIONS TO WALLS ARE TO FACE OF STUD.
- 2 • CONSULT ARCHITECT IF VARIATIONS IN DIMENSIONS OCCUR.
- 3 • UNLESS NOTED OTHERWISE, ALL INTERIOR FRAME WALLS TO BE 2X4 WOOD STUD FRAMING @16" O.C. 5/8" GYP. BD. ON BOTH SIDES.
- 4 • ALL EXTERIOR FRAME WALLS TO BE 2X6 WOOD STUD FRAMING @16" O.C.

NEW 2X WOOD FRAMED WALL
CAST-IN-PLACE CONCRETE
HOSE BIBB



A103 ENLARGED PLANS

BAKER RESIDENCE

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WILMINGTON, NORTH CAROLINA 28405

05.21.2026	—	COUNTY & LANDFALL ARC REVIEW
06.04.2026	—	REVISED FOR GC
06.08.2026	—	REVISED FOR GC

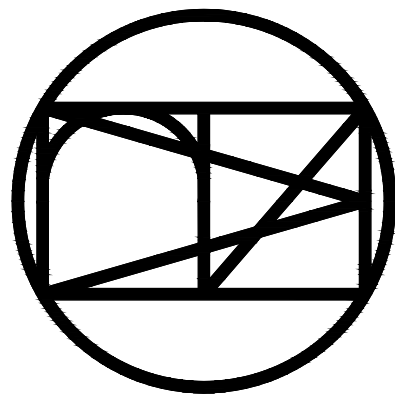
01.12.2026	—	ISSUED FOR REVIEW
01.26.2026	—	REVISED DESIGN
01.30.2026	—	REVISED DESIGN

ARCHITECT

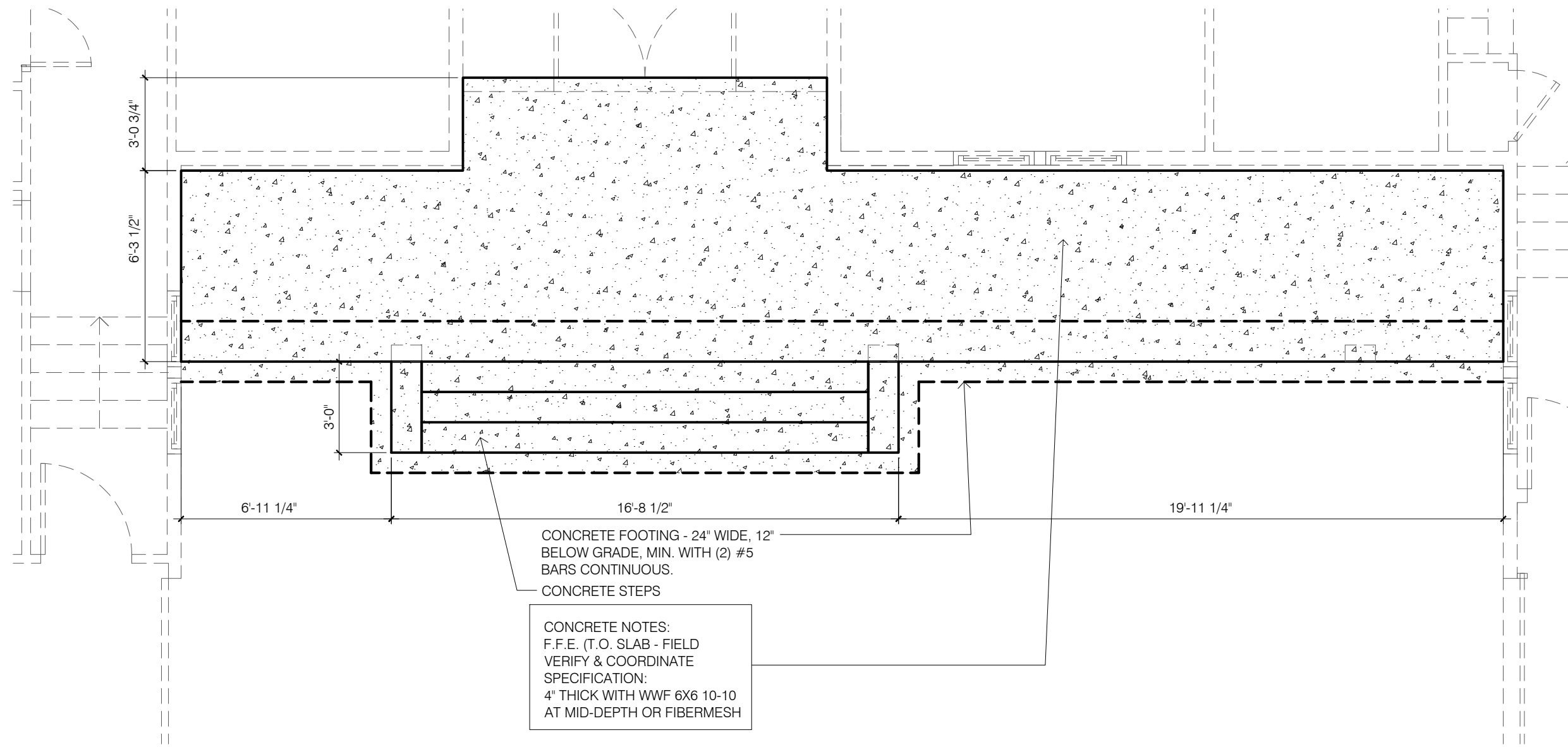
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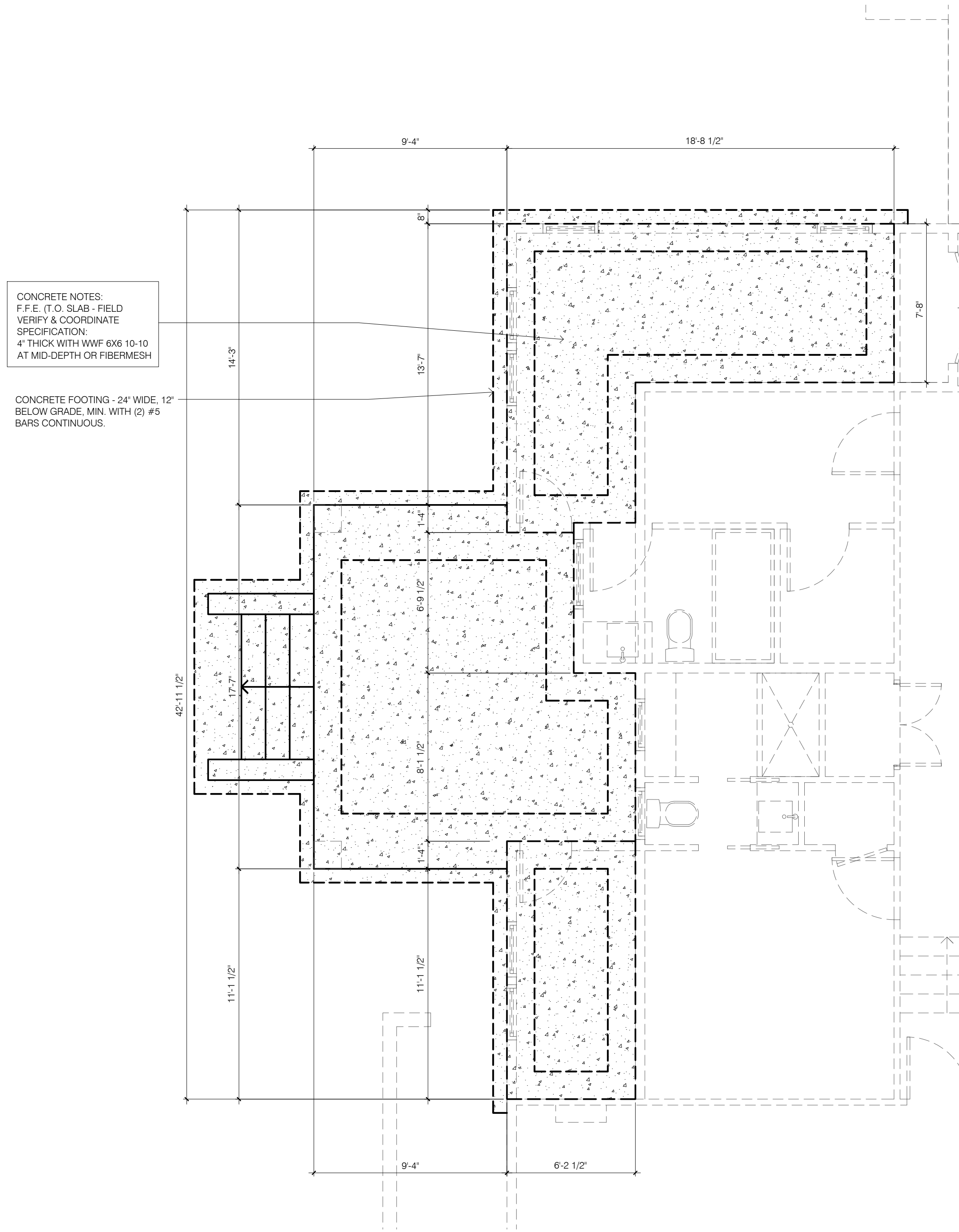
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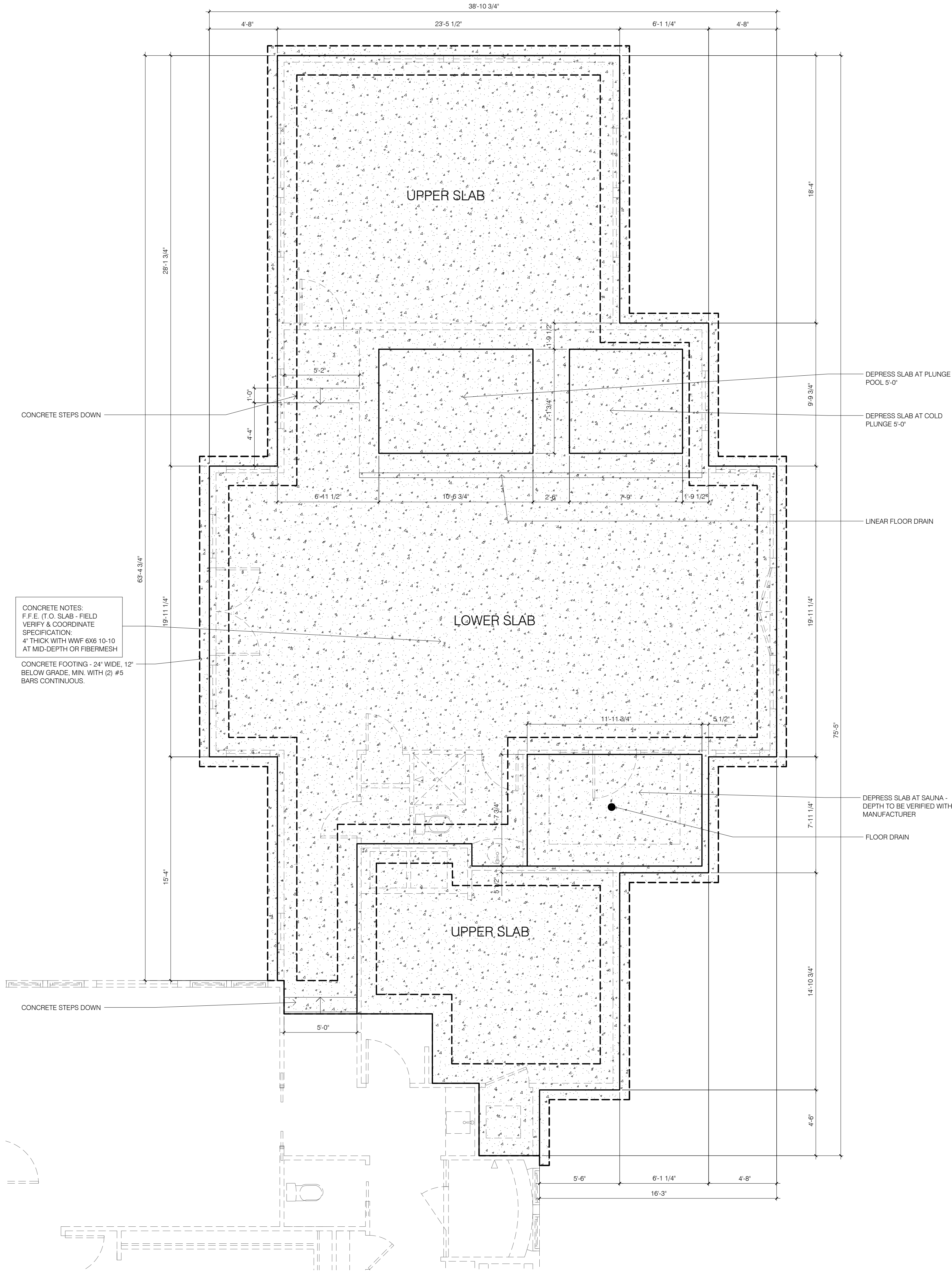
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3 ENLARGED FRONT PORCH - FOUNDATION PLAN
SCALE 1/4" = 1'-0"



2 ENLARGED GUEST BEDROOM RENOVATION - FOUNDATION PLAN
SCALE 1/4" = 1'-0"

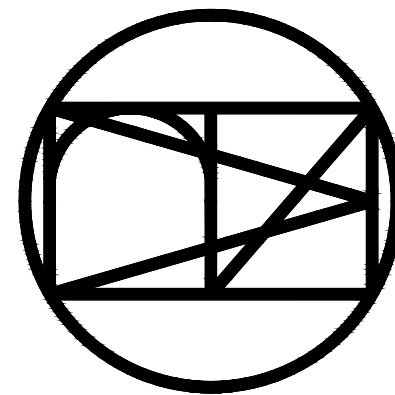


1 ENLARGED MASTER SUITE + SPA FOUNDATION PLAN
SCALE 1/4" = 1'-0"

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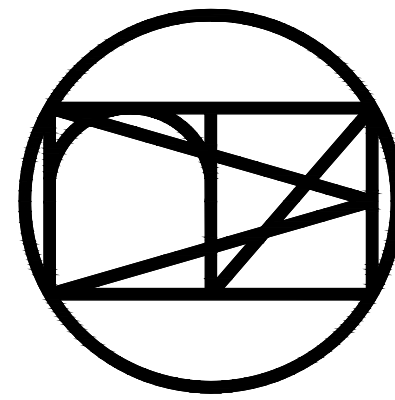
A104 FOUNDATION PLANS

01.12.2026	ISSUED FOR REVIEW	05.21.2026	COUNTY & LANDFALL ARC REVIEW
01.30.2026	REVISED DESIGN	06.04.2026	REVISED FOR GC
02.06.2026	REVISED DESIGN	06.05.2026	REVISED FOR GC
02.16.2026	REVISED DESIGN	06.12.2026	REVISED FOR GC
02.18.2026	REVISED DESIGN	06.16.2026	REVISED FOR GC
02.23.2026	REVISED DESIGN		
02.23.2026	REVISED DESIGN		
04.27.2026	REVISED DESIGN		
04.28.2026	REVISED DESIGN		
05.13.2026	COUNTY & LANDFALL ARC REVIEW		



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A200 ELEVATIONS

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06.04.2026	—	REVISED FOR GC
06.08.2026	—	REVISED FOR GC
06.12.2026	—	REVISED FOR GC
06.16.2026	—	REVISED FOR GC

01.12.2026	ISSUED FOR REVIEW
01.26.2026	REVISED DESIGN
01.30.2026	REVISED DESIGN
02.06.2026	REVISED DESIGN
02.12.2026	REVISED DESIGN

04.27.2026	REVISED DESIGN
04.28.2026	—
05.18.2026	—



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1 EXISTING SOUTH ELEVATION
SCALE 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE 1/8" = 1'-0"



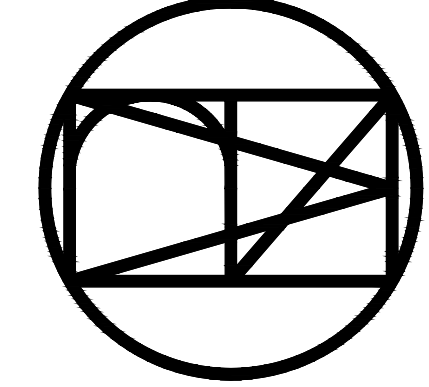
A201 ELEVATIONS

BAKER RESIDENCE

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03.03.2026	REVISED DESIGN	REVISED FOR GC
03.10.2026	REVISED DESIGN	REVISED FOR GC
03.13.2026	REVISED DESIGN	REVISED FOR GC

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1 EXISTING NORTH ELEVATION
SCALE 1/8" = 1'-0"

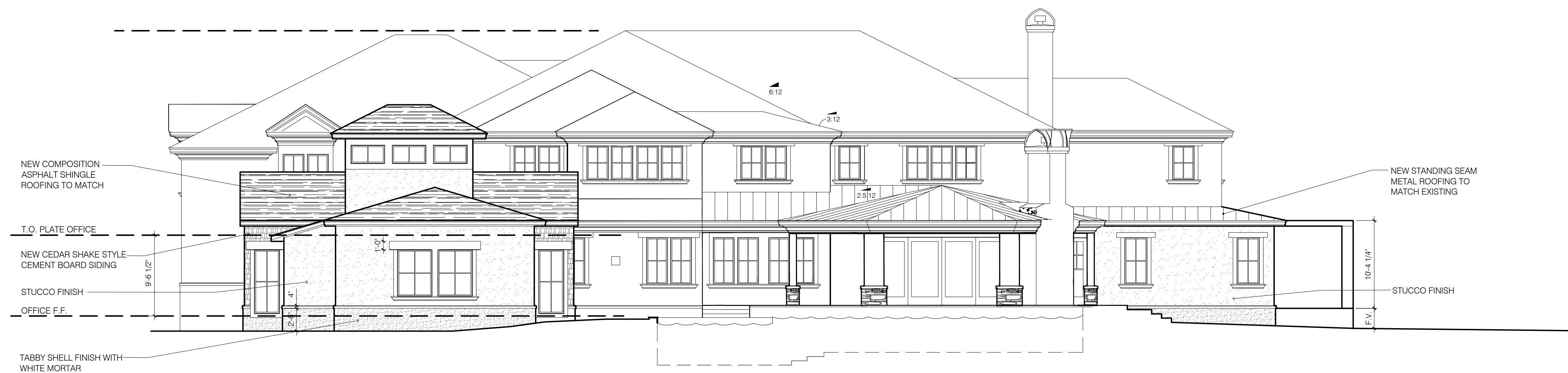


2 PROPOSED NORTH ELEVATION
SCALE 1/8" = 1'-0"



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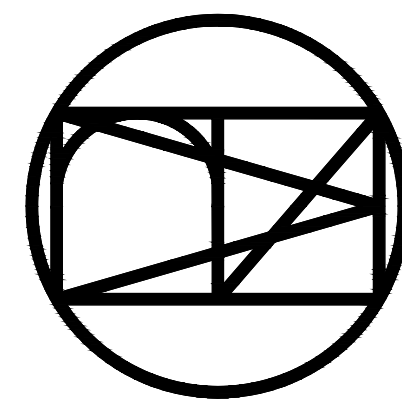
2 PROPOSED EAST ELEVATION



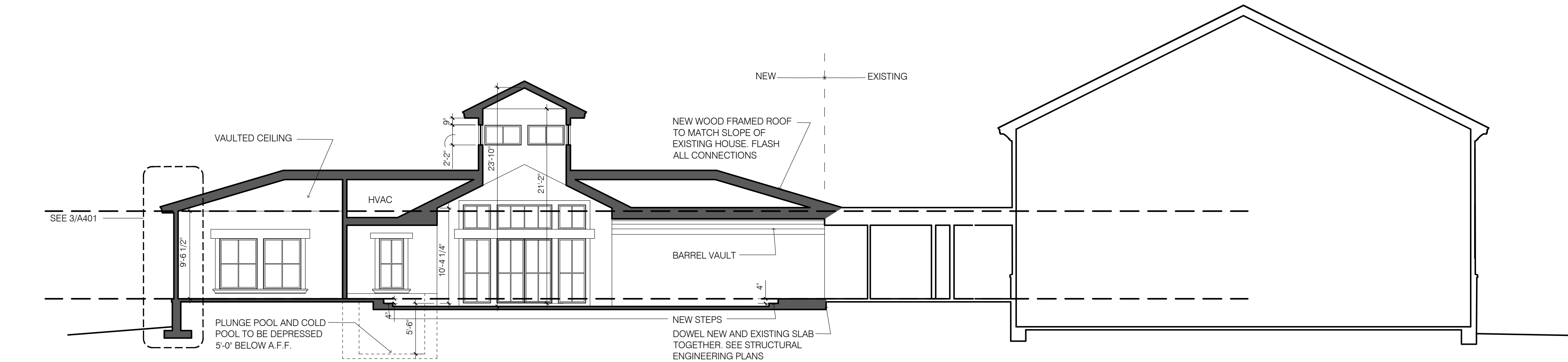
1 EXISTING EAST ELEVATION



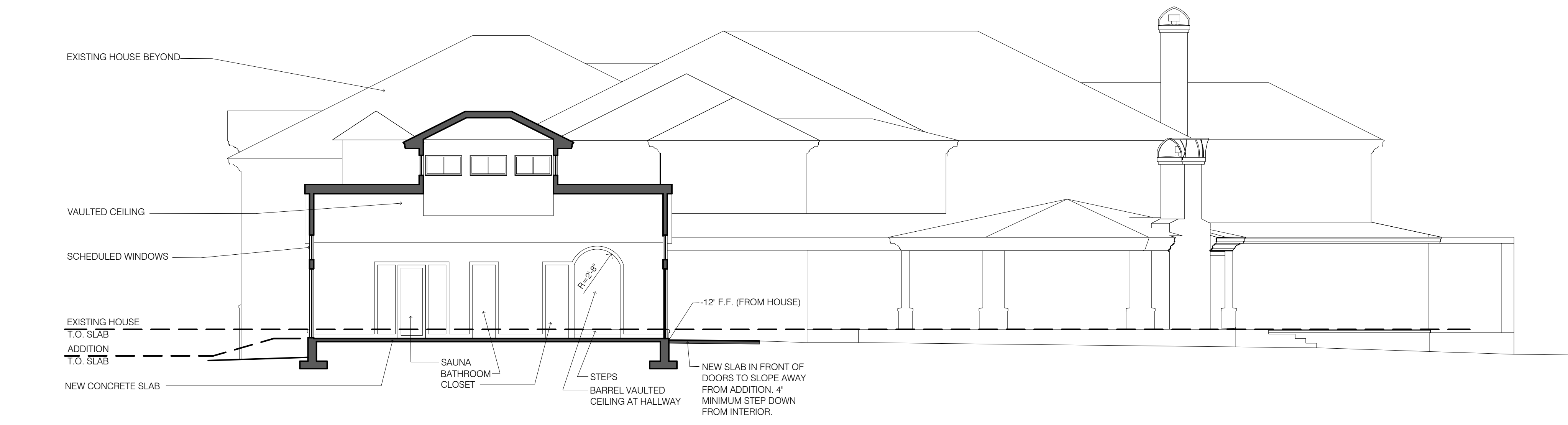
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08.07.2026	REVISED DESIGN		
08			



2 SECTION
SCALE 1/8" = 1'-0"

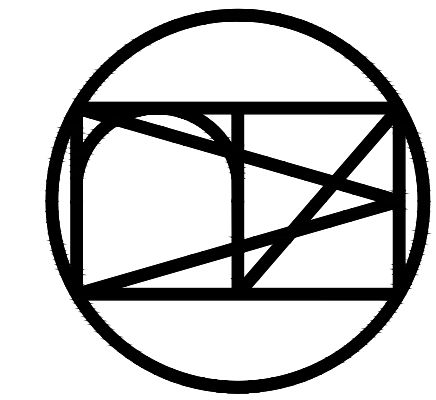


1 SECTION
SCALE 1/8" = 1'-0"

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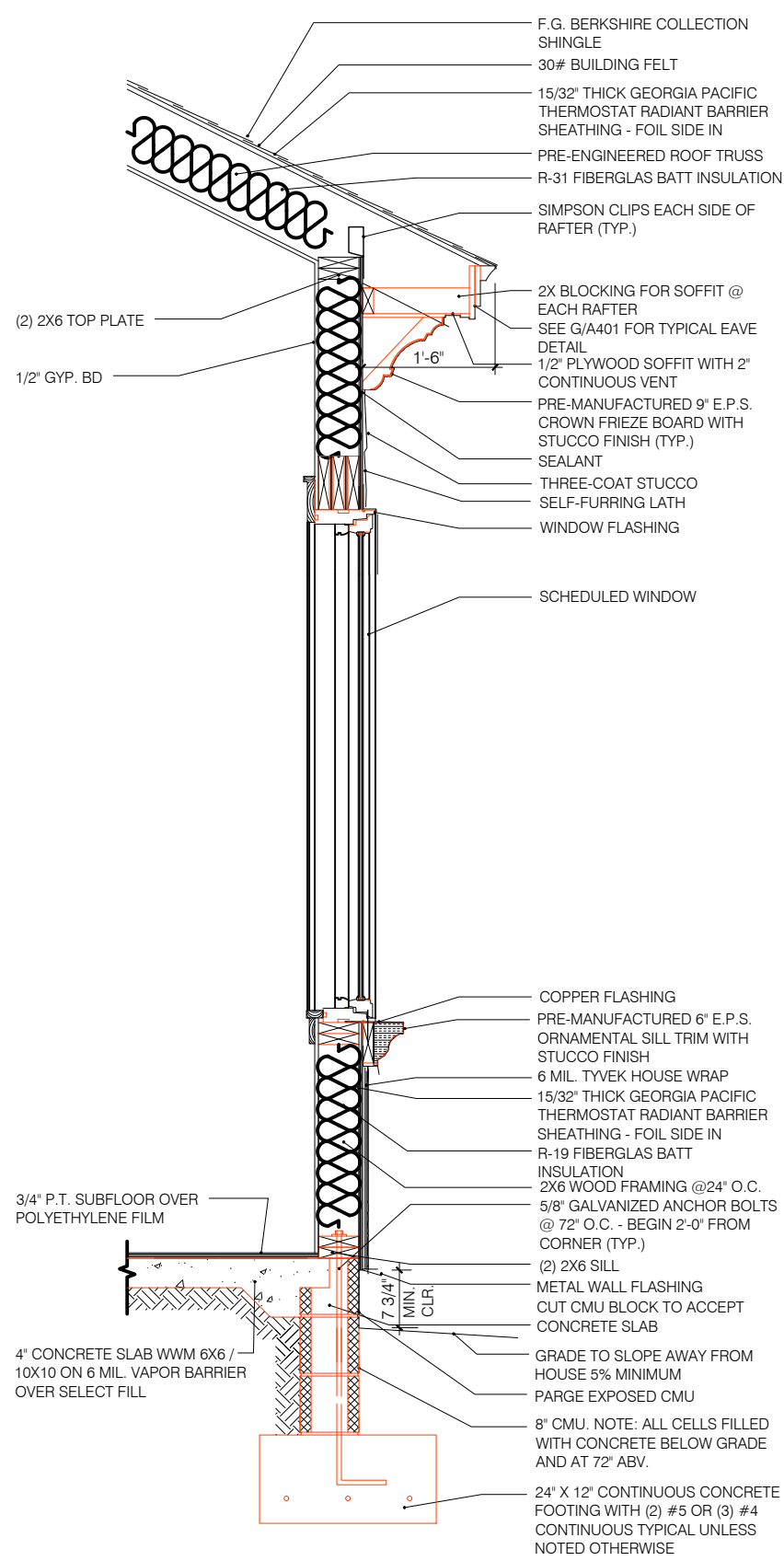
12001 DEER ISLAND LANE
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A301 SECTIONS

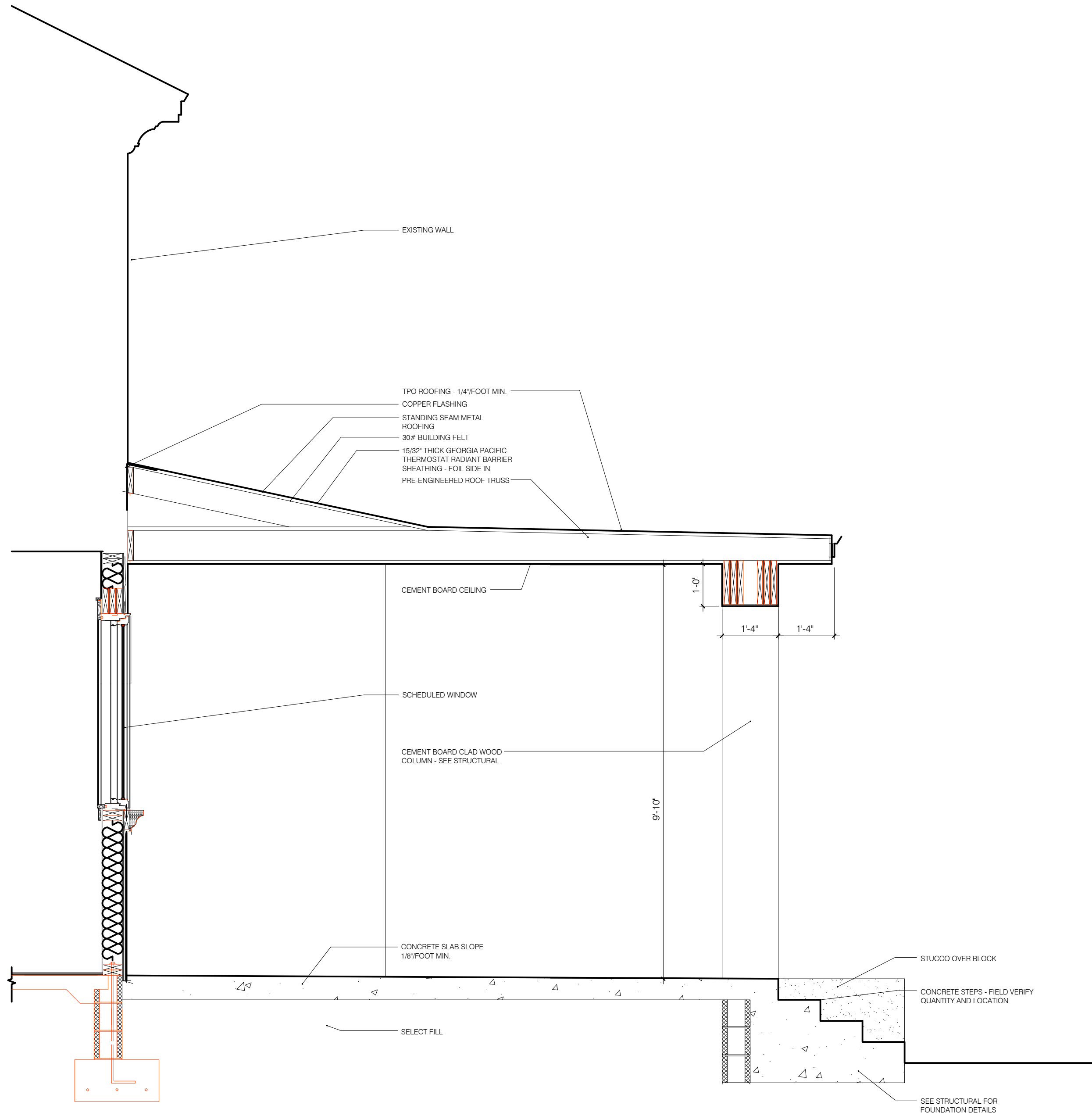
01.12.2026	ISSUED FOR REVIEW	COUNTY & LANDFALL ARC REVIEW
01.12.2026	REVISED DESIGN	REVISED FOR GC
01.30.2026	REVISED DESIGN	REVISED FOR GC
02.06.2026	REVISED DESIGN	REVISED FOR GC
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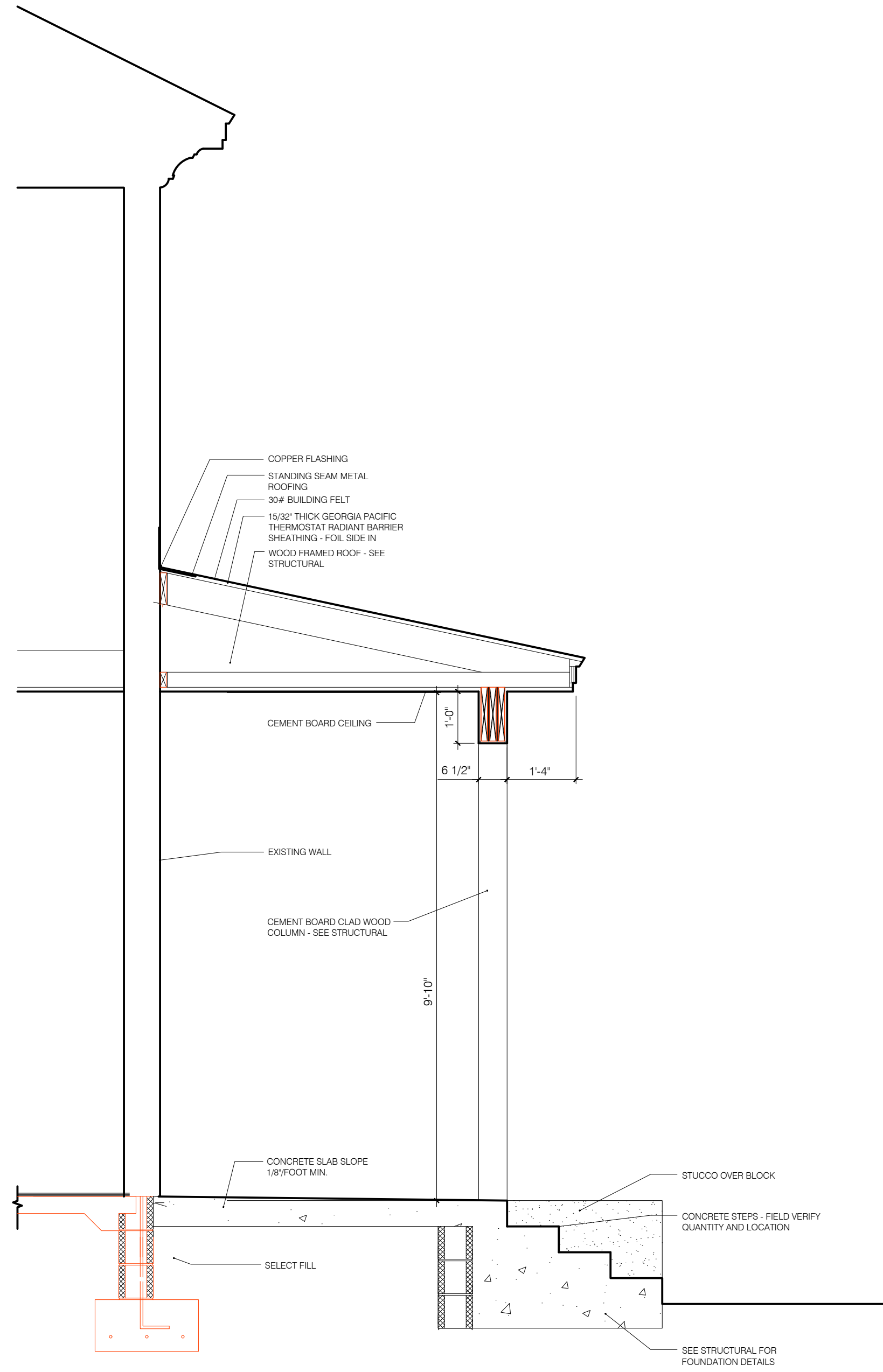
3 SECTION THROUGH TYPICAL ADDITION
SCALE 1/2" = 1'-0"



2 SECTION THROUGH NEW GUEST BEDROOM PORCH
SCALE 1/2" = 1'-0"



1 SECTION THROUGH FRONT PORCH
SCALE 1/2" = 1'-0"

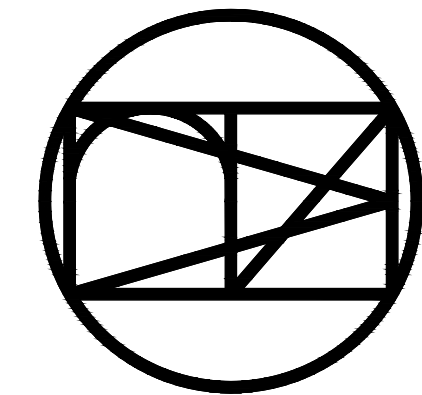


A401 WALL SECTIONS

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GRADING & DRAINAGE NOTES

1. REFER TO CONTRACTOR'S BEST AVAILABLE MECHANICAL, ELECTRICAL AND STRUCTURAL ENGINEERS' PLANS FOR THESE DRAINAGE, SANITARY SYSTEM, SEWER ELEVATIONS AND DRAINAGE STRUCTURES.
2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DRAINAGE INFORMATION INCLUDING DOWNSPUTS.
3. PRIOR TO EXISTING WORK, CONTRACTOR SHALL VERIFY ALL PROPOSED LANDSCAPE AND LANDSCAPE GRADES IN FIELD. SHOULD ADJUSTMENTS BE NECESSARY, MAINTAIN PROPOSED FLOW LINES AND DRAINAGE PATTERNS. MAINTAIN A MINIMUM 1% DRAINAGE ON UNDEVELOPED SURFACES AND 1.5% DRAINAGE ON DEVELOPED AREAS. (IN POSITIVE DRAINAGE, LANDSCAPE AREAS HAVE DRAINAGE DRADES SHOWN IN FINE LINE (DASHED) HAVE BEEN DETERMINED ON THE EXISTING PLAN.)
4. ALL EXISTING UTILITY SPALLS, E.G. CONCRETE, SHALL BE RECONSTRUCTED, REINFORCED AND PATCHED TO PREVENT FUTURE SETTLING AND MAINTAIN STRUCTURAL STABILITY. ALL REPAIRS SHALL BE TESTED TO MEET NEW REQUIREMENTS AND CRACKS SHALL BE REPAIRED AND SHALL BE TESTED FOR AIR/ROOT TOLERABILITY PRIOR TO DELIVERY TO SITE.
5. FINISH GRADE SHALL BE ADJUSTED TO THE NEEDS OF THE LANDSCAPE ARCHITECT AS REQUIRED. ALL FINISH GRADES SHALL BE UNIFORM AND SMOOTH.
6. ALL DRAINAGE TO BE CONFORMANT WITH LOCAL DRAINAGE CODES. CONTRACTOR IS TO SECURE REQUIRED PERMITS. OWNER WILL PAY FEE.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK AND TAKE MEASURES TO PROTECT THESE EXISTING UTILITIES.
8. ALL AREAS TO RECEIVE WATER SHALL BE PROTECTED FROM EXCESSIVE DRAINAGE FROM A DRAINAGE FROM TO COMMENCEMENT OF ANY PLANTING AND IRRIGATION WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER REPAIRS FOR ANY DAMAGE TO EXISTING ROADS OR REPAIR WORK RESULTING FROM WORK PERFORMED UNDER THIS CONTRACT.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER REPAIRS FOR ANY DAMAGE TO EXISTING ROADS OR REPAIR WORK RESULTING FROM WORK PERFORMED UNDER THIS CONTRACT.
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25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER REPAIRS FOR ANY DAMAGE TO EXISTING ROADS OR REPAIR WORK RESULTING FROM WORK PERFORMED UNDER THIS CONTRACT.

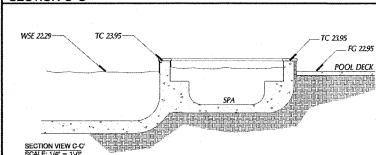
SYMBOL LEGEND

SYMBOL	DESCRIPTION	PROPOSED SPOT ELEVATION
FG	FINISH GRADE	21.75
FS	FINISH SURFACE	
TC	TOP OF CURB	13
BC	BOTTOM OF CURB	
DC	DEPRESSED CURB	79
TP	TOP OF PLASTER	
BP	BOTTOM OF PLASTER	
GB	GRADE BREAK	
HP	HIGH POINT	
LP	LOW POINT	
TF	TOP OF FOOTING	

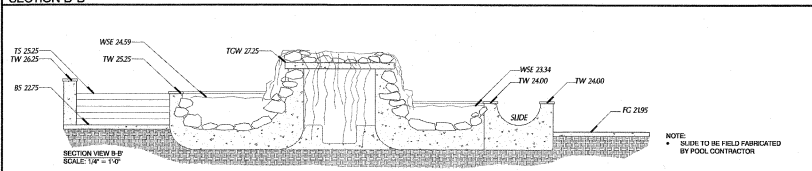
DETAIL REFERENCES / FINISH SCHEDULE

SYMBOL	DESCRIPTION	DETAIL	SHEET
S-1	CONCRETE PAVING	1	L2.1
S-2	CONCRETE POOL COPING	1	L2.1
S-3	SPA COPING	4	L2.1
S-4	CONCRETE POOL DECK	1/4	L2.1
S-5	CONCRETE STEPS	3	L2.1
S-6	POOL FENCE & GATE	5	L2.1
S-7	LOW WALL AT POOL	6	L2.1
S-8	STONE VENEER STUCCO TO MATCH ARCHITECTURE	5	L2.1
S-9	STONE VENEER STUCCO TO MATCH ARCHITECTURE	2	L2.1

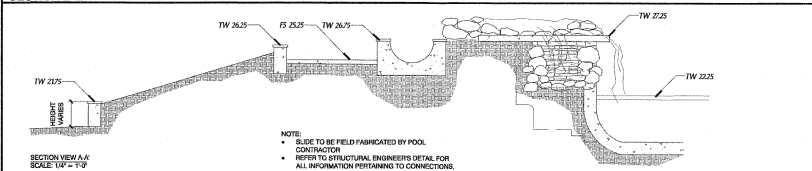
SECTION C-C'



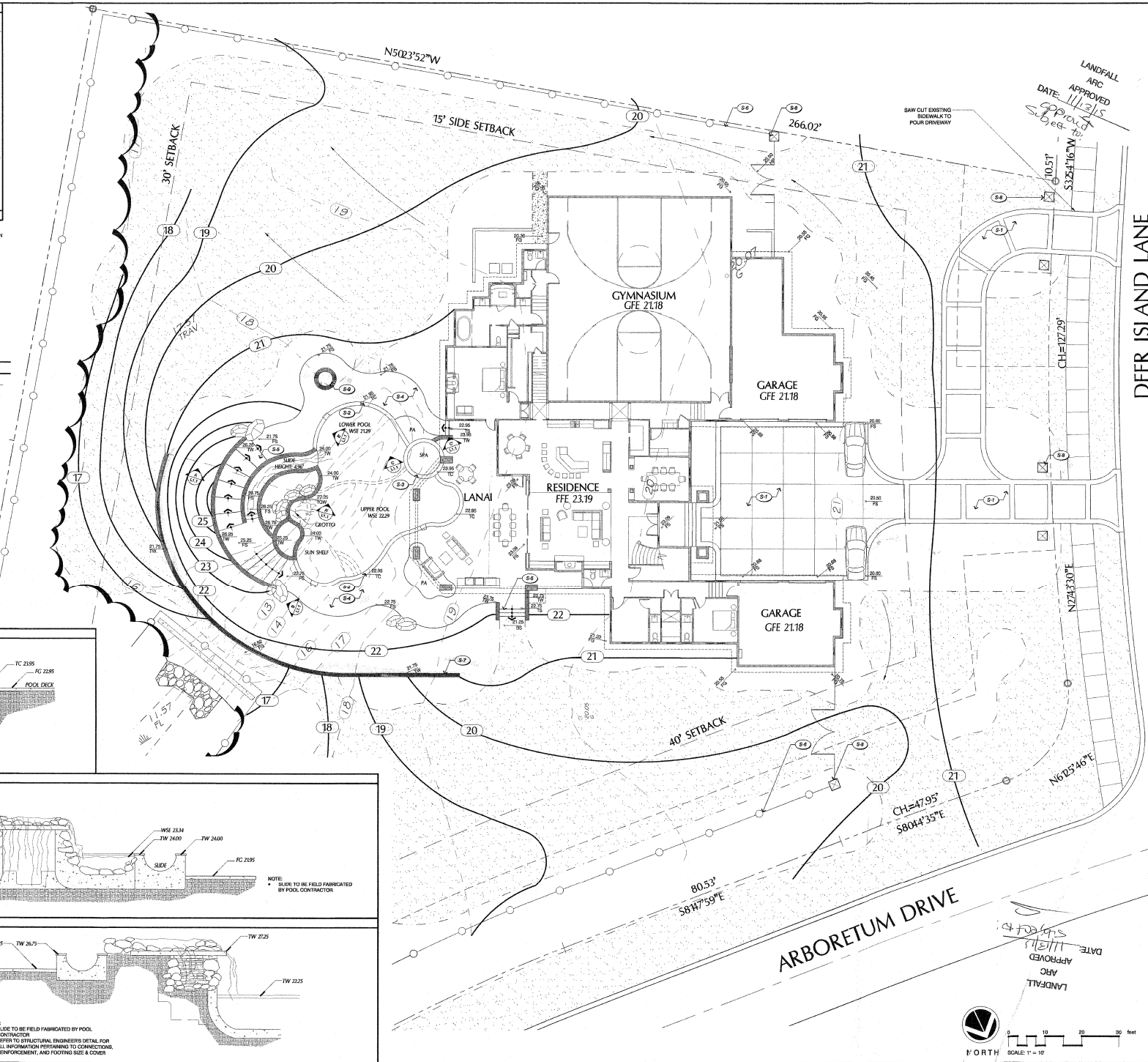
SECTION B-B'



SECTION B-B'



NOTE: SLIDE TO BE FIELD FABRICATED BY POOL CONTRACTOR. REFER TO STRUCTURAL ENGINEER'S DETAIL FOR ALL INFORMATION PERTAINING TO CONNECTIONS, REINFORCEMENT, AND FOOTING SIZE & COVER.



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Revisions
2016-02-02: REVISED POOL DECK SPACE, DIMENSIONS LAYOUT TO REFLECT CIRCLE DRIVE POOL UNDER LANEY
2016-05-16: REVISITED DRIVEWAY, EXTERIOR POOL UNDER LANEY
2016-06-21: REVISITED DRIVEWAY, EXTERIOR POOL UNDER LANEY
2016-06-21: REVISITED DRIVEWAY, EXTERIOR POOL UNDER LANEY
2016-06-21: REVISITED DRIVEWAY, EXTERIOR POOL UNDER LANEY

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PROJECT
BAKER RESIDENCE
2001 DEER ISLAND DRIVE
WILMINGTON, NC
LANDSCAPE PLAN

Date: 10/15/2015
Phase: CD
Job Number: 180-03
Designed by: MLD
Drawn by: JWW
Checked by: JWW
Sheet Title: GRADING PLAN

Sheet Number
L1.1
of 7 sheets