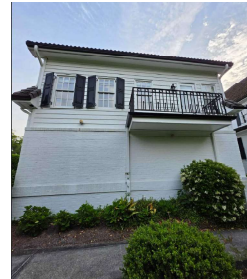


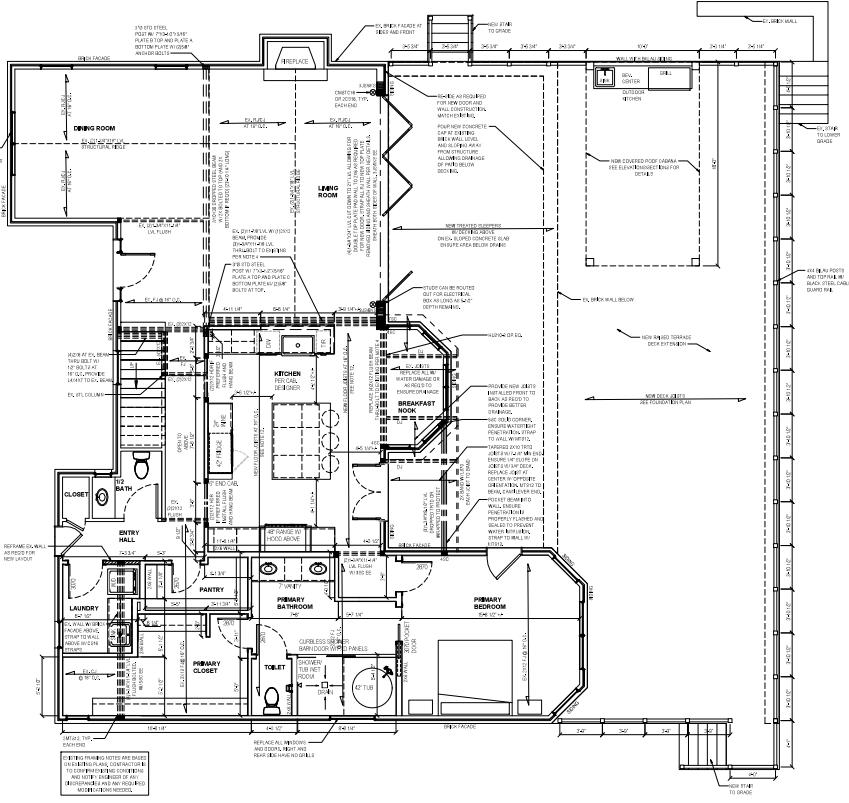


DATE OF FIELD SURVEY 04/18/2025
DB FLOYD PLS
LAND SURVEYOR
U.S. VETERAN & HUSB
3709 SAND TRAP CT.
MURFREESBORO, TN
38655
931-617-2085



SCOPING NOTES:

1. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED. GOOD NOTIFICATIONS ARE NOTED ON PLAN AND INCLUDE NOTIFICATION TO ALL ADJACENT ROOMS. REPAIRING ROOM DOUBLE DOOR ADJACENT TO DINING/HETHE, AND NEW DOORS ONTO 2ND FLOOR BALCONY.
2. FRONT AND LEFT SIDE OF HOME ARE TO HAVE A PANEL GRILL. IN WINDOW UNIT REPAIR AND RIGHT SIDE OF HOME DO NOT HAVE GRILLS. ***(Per 3.3.3.2 of the Larchfield Airflow window guidelines)***
3. REMOVE STONE TILE AT EXISTING HETHE AND UPPER PORTER PORCH TERRACE BALCONY. REMOVE STONE TILE ON PERIMETER OF HETHE WALL, SLOPED TO ALLOW WATER TO DRAIN. PROVIDE WOOD SLEEPERS AND EXPOSED NEW STEEL STRUCTURE TO EDGE OF LOWER BENCHING AREA.
4. PROVIDE NEW GRASS CURBATURE WITH OUTDOOR HETHE. ROOF IS TO MATCH EXISTING. LEFT SIDE HAS FULL END WALL. BENCHING TO MATCH EXISTING. RIGHT SIDE HAS FULL END WALL WITH TONGUE AND GROOVE CEILING WITH RAISED PANELS. TEST EVERY OTHER RAFTER.
5. PROVIDE NEW WALLS PER PLAN INCLUDING NEW HETHE/STITCH. MASTER SLOTT, LAUNDRY, PAPER AND UPDATED STEEL BEAM AT LOWER BENCHING AREA.
6. REPLACE BENCH AND BALCONY ABOVE DINING AREA.
7. REPAIR AND INSTALL NEW MERM AND HVAC AS REQUIRED.
8. REMOVE SINKING AS REQUIRED FOR NEW WINDOW AND DOOR MODIFICATIONS.
9. REPAIRS ANGLED HOLLOW-BOX BEARING 2ND FLOOR WALL, PER BUILDING.
10. REMOVE ATTIC ACCESS IN BEDROOM.
11. UPDATE FOUNDATION AS REQUIRED FOR REMOVED PORTER LOADS.
12. REPAIR LANDSCAPING PER LANDSCAPE PLAN.



LEGEND

STAIRS
COLUMN BEAMS AT ALL UNBARRED JOINTS
OF FLOOR JOINTS ARE NOTED
DOOR BEAM
TRUSS OR PLASTER

NOTES

1. ANY EXTERIOR FRAMING IS TO BE TREATED OR PROTECTED FROM EXTERIOR ENVIRONMENT.
2. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH PROPERLY INSULATED EXTERIOR FINISHES AT ALL JOINTS AND SHALL BE PROTECTED FROM EXTERIOR ENVIRONMENT.
3. ALL TRUSS BEAMS AND ROOF JOINTS ARE TO BE CONSTRUCTED WITH PROPERLY INSULATED EXTERIOR FINISHES.
4. SECONDARY WALLS THROUGHOUT ARE TO BE CONSTRUCTED WITH PROPERLY INSULATED EXTERIOR FINISHES.
5. ALL EXTERIOR WALLS AND PARTITIONS ARE TO BE PROTECTED FROM EXTERIOR ENVIRONMENT.
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MEMBER	TYPE	SPACING	NOTES
1"	1"	12"	1"
2"	2"	12"	2"
3"	3"	12"	3"
4"	4"	12"	4"
5"	5"	12"	5"
6"	6"	12"	6"
7"	7"	12"	7"
8"	8"	12"	8"
9"	9"	12"	9"
10"	10"	12"	10"
11"	11"	12"	11"
12"	12"	12"	12"

NEW WORK PLAN - FIRST FLOOR
1/4" = 1'-0"

PORTHORN BUILDING AND DESIGN
ENGINEERING, PLLC
1401 LANDALL DRIVE
WILMINGTON, NC

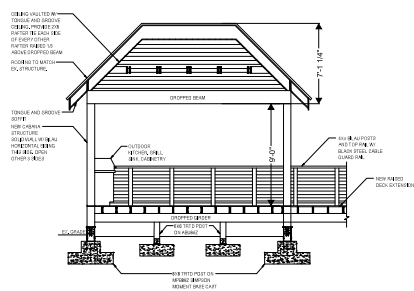
FRAMING PLAN

2023/02/22
06/29/2024
CSP
SEE PLAN

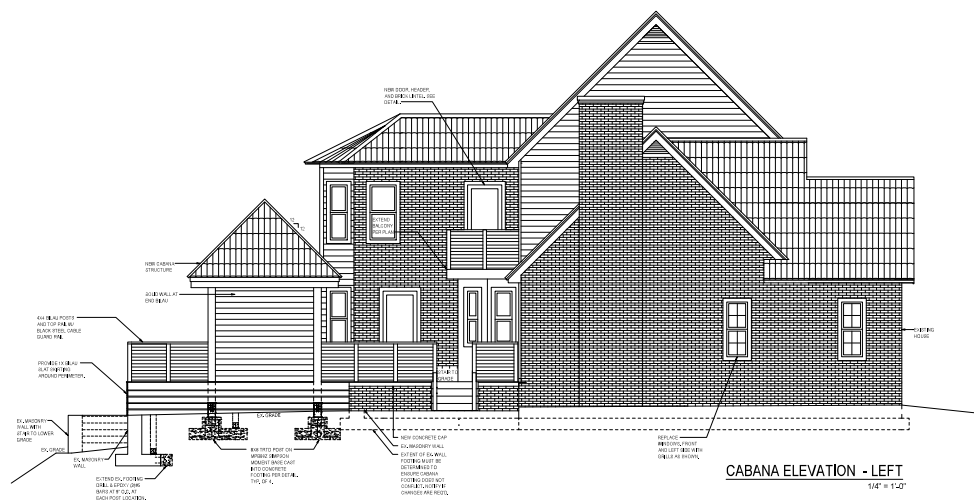
REVISIONS

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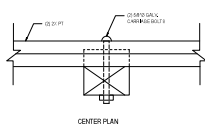
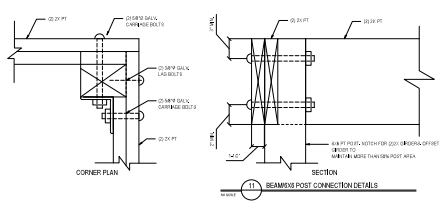
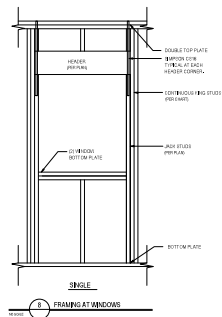
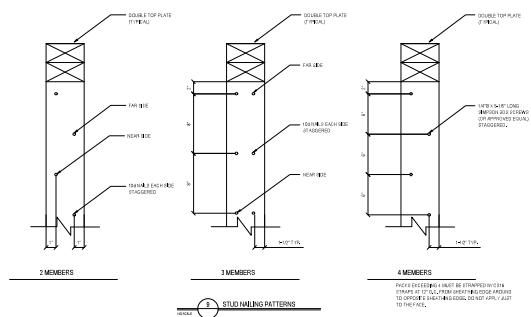
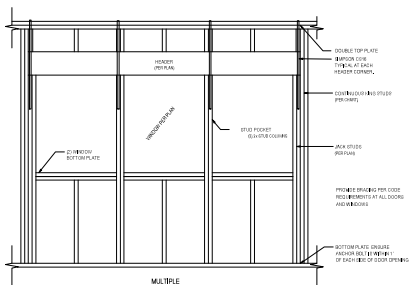
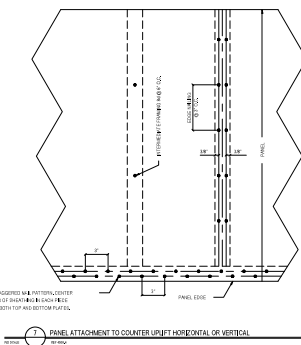
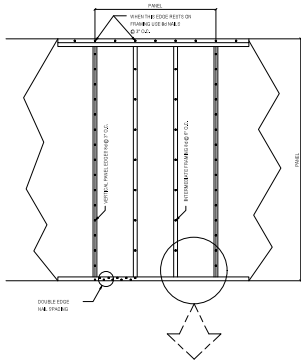
S2



CABANA ELEVATION/SECTION - OCEAN FACING
1/4" = 1'-0"



CABANA ELEVATION - LEFT



PORTHUS BUILDING AND DESIGN
ENGINEERING, PLLC
1401 LANDFALL DRIVE
WILMINGTON, NC

2023/6/22
06/29/2024
CSP
CSP
SEE PLAN
REVISIONS
S6

**SOLD BY:**

Guy C. Lee Building Materials
Wilmington
PO Box 329
Wilmington, NC 28402-0329
Fax: 910-763-1340

SOLD TO:**CREATED DATE**

6/8/2026

LATEST UPDATE

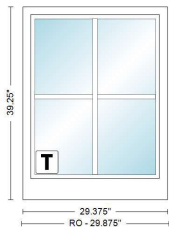
6/15/2026

OWNER

Will Grady

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Fortress Builders-1619 Landfall Dr.-6-15-26-REV	Fortress Builders-1619 Landfall Dr.-6-15-26	9363023		

ORDER NOTES:**DELIVERY NOTES:**

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
100	1	Fixed	Stairs		

RO Size = 29 7/8" x 39 1/4"**Unit Size = 29 3/8" x 39 1/4"**

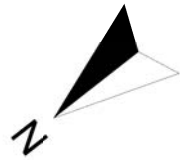
DHP 2' 5 3/8"X3' 3 1/4", Unit, 400 Series Picture Window-DH, Installation Flange, Black Exterior Frame, Pine w/Black - Painted Interior Frame, Fixed, Dual Pane Low-E4 SmartSun Tempered Argon Fill Full Divided Light (FDL) 2 Wide, 2 High, Specified Equal Light Pattern, Black, Pine w/Black, 7/8" Grille Bar, Stainless Glass / Grille Spacer, Wood BlackJamb Liner

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.3	0.2	NO

a landscape design for

The Casciano residence

at 1619 Landfall Drive



Plant Legend				
Symbol	Qty	Common	Botanical	Size
	1	Bloodgood Japanese Maple	Acer palmatum 'Bloodgood'	25 gal 7h-4'w
	7	Carolina Midnight Loropetalum	Loropetalum chinense f. rubrum 'Carolina Midnight'	7 gal 2.5h-2.5'w
	10	Cinnamon Girl Distylium	Distylium 'PIIDIST-V'	7 gal 3h-2'w
	3	Dwarf Pampas Grass	Cortaderia selloana 'Pumila'	3 gal 2h-2'w
	1	Forest Pansy Redbud	Cercis canadensis 'Forest Pansy'	15 gal 7h-3.5'w
	7	Goshiki False Osmanthus	Osmanthus heterophyllus 'Goshiki'	7 gal 2h-2'w
	13	Holly Fern	Polystichum nepalense	1 gal- 1h 1'w
	8	Kanjiro Sasanqua Camellia	Camellia sasanqua 'Kanjiro'	15 gal 4h-3'w
	7	Little Champ Distylium	Distylium x 'DISmd-26-18'	3 gal 2h-2'w
	2	Mediterranean Fan Palm	Chamaecrops humilis	15 gal 4h-3.5'w
	17	Murasaki Flirt Nandina	Nandina domestica 'Murasaki'	3 gal 1.5h-1.5'w
	1	Pindo Palm	Butia capitata	5'h-4'w b&b
	5	Pineapple Guava	Acca sellowiana	7 gal 3'h-2'w
	15	Pink Drift Rose	Rosa 'Meijocox'	3 gal 1.5h-1.5'w
	21	Purple Formosa Azalea	Rhododendron indicum 'Formosa'	3 gal 2h-2'w
	1	Red Laceleaf Japanese Maple	Acer palmatum var. dissectum	25 gal 3.5h-3'w
	3	Sabal palmetto	Sabal palmetto	12' h trunk height
	10	Sandankwa Viburnum	Viburnum suspensum	7 gal 3'h-2'w
	31	Variegated Sedge	Carex elata	1 gal 1'h-1'w

notes:

- mulch:**
- perimeter beds- pinestraw
 - elevation beds- shredded hardwood
- sod:**
- El Toro Zoysia
- water feature:**
- Basalt column fountain
- outdoor lighting:**
- pathlight (x10)-
 - uplight (x16)-
 - lighting in accordance with ARC guidelines

- entry columns:**
- white brick- same as residence
 - 5'h- 20"w with a 24" cap

- terrace:**
- decking material- 5-3/8" x 1" Balau wood deck boards
 - railing- 4x4 Balau wood posts
 - handrail cap- 6"" x 1-1/2" Balau wood
 - railing to be installed around decking perimeter
 - railing wire- black stainless steel wire



design by: Jackson Landscaping, Inc.
designer: date: 06/09/2026
email: whjackson@bellsouth.net phone: 910-686-2131

*disclaimer:
- Given design is the intellectual property of Jackson Landscaping, Inc. and is not to be copied, submitted, or shared with any entity without expressed consent from Jackson Landscaping, Inc.

scale: 1"=10'
10'